

EMBASSY OF HUNGARY CHANCERY RENOVATION

1500 RHODE ISLAND AVENUE NW, WASHINGTON, DC

DRAWING LIST

PRESENTATION

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P0012	EXISTING SITE AND BUILDING PHOTOS
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P0101	PROPOSED SITE PLAN ROOF
P0102	PROPOSED SITE PLAN LEVEL 1
PD0201	EXISTING NORTH ELEVATION
P0201	PROPOSED NORTH ELEVATION
PD0202	EXISTING SOUTH ELEVATION
P0202	PROPOSED SOUTH ELEVATION
PD0203	EXISTING EAST ELEVATION
P0203	PROPOSED EAST ELEVATION
PD0204	EXISTING WEST ELEVATION
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Image: Joanne G. Lawton

Board of Zoning Adjustment
District of Columbia
CASE NO.19798
EXHIBIT NO.40A



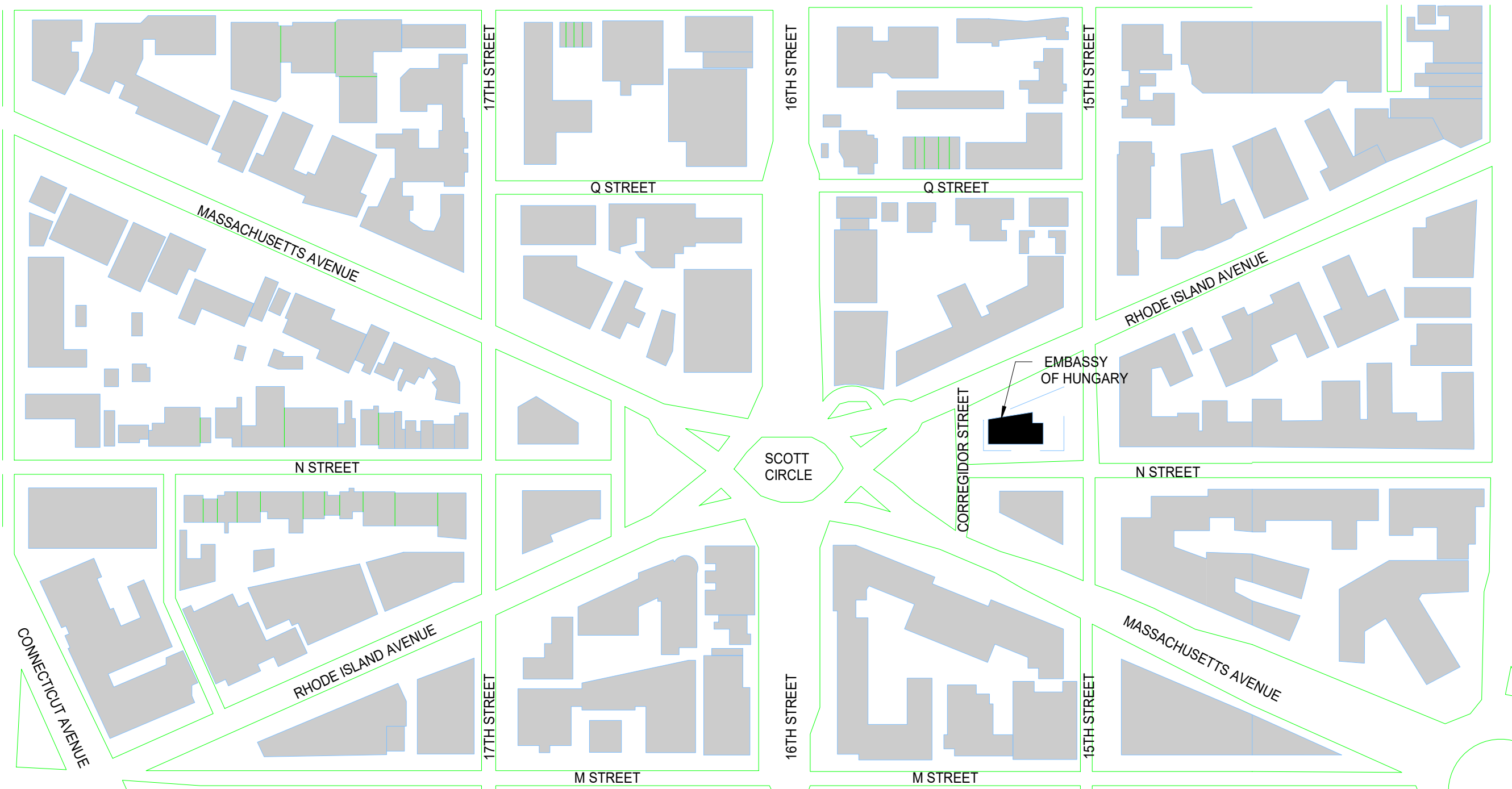
HUNGARIAN EMBASSY RENOVATION
1500 Rhode Island Ave NW Washington DC 20005

P0000
8/22/2018

COVER SHEET

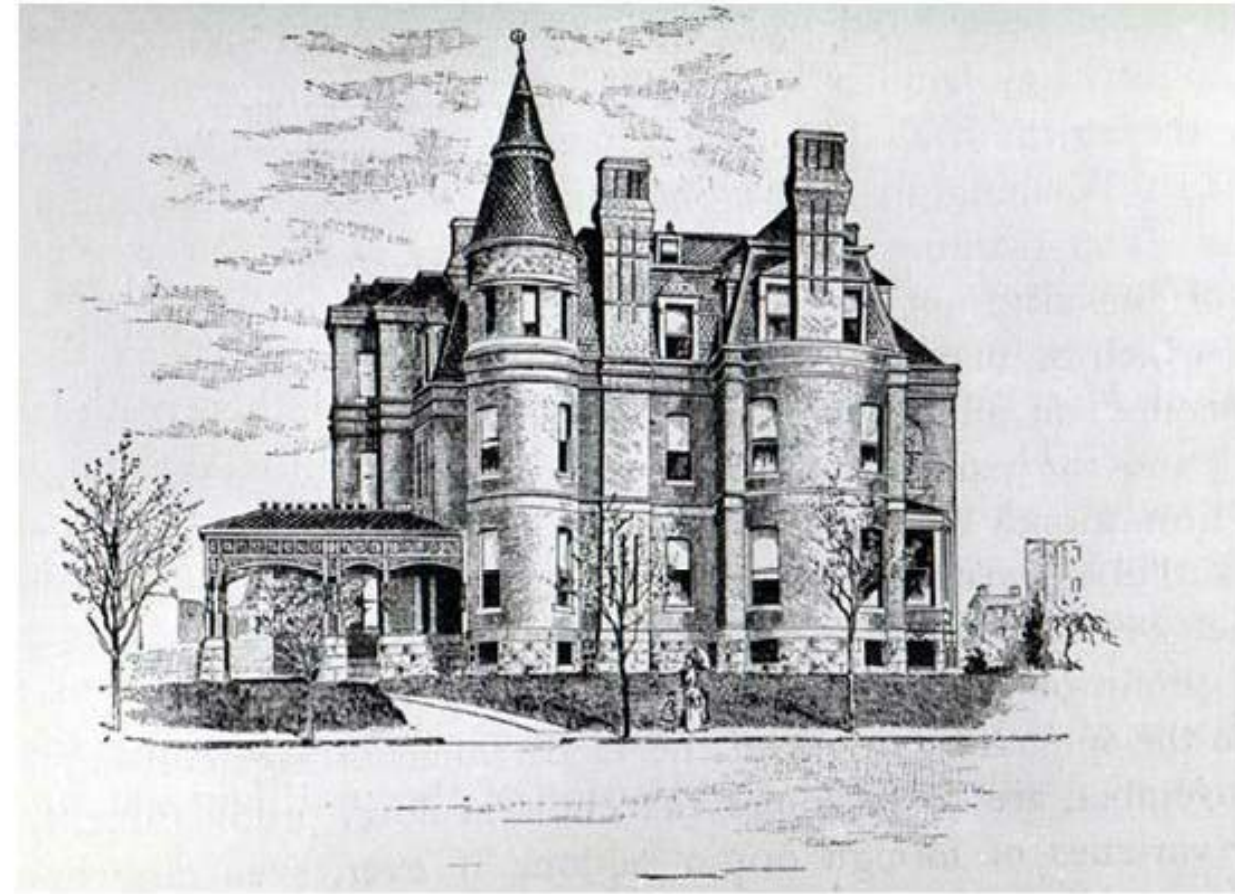


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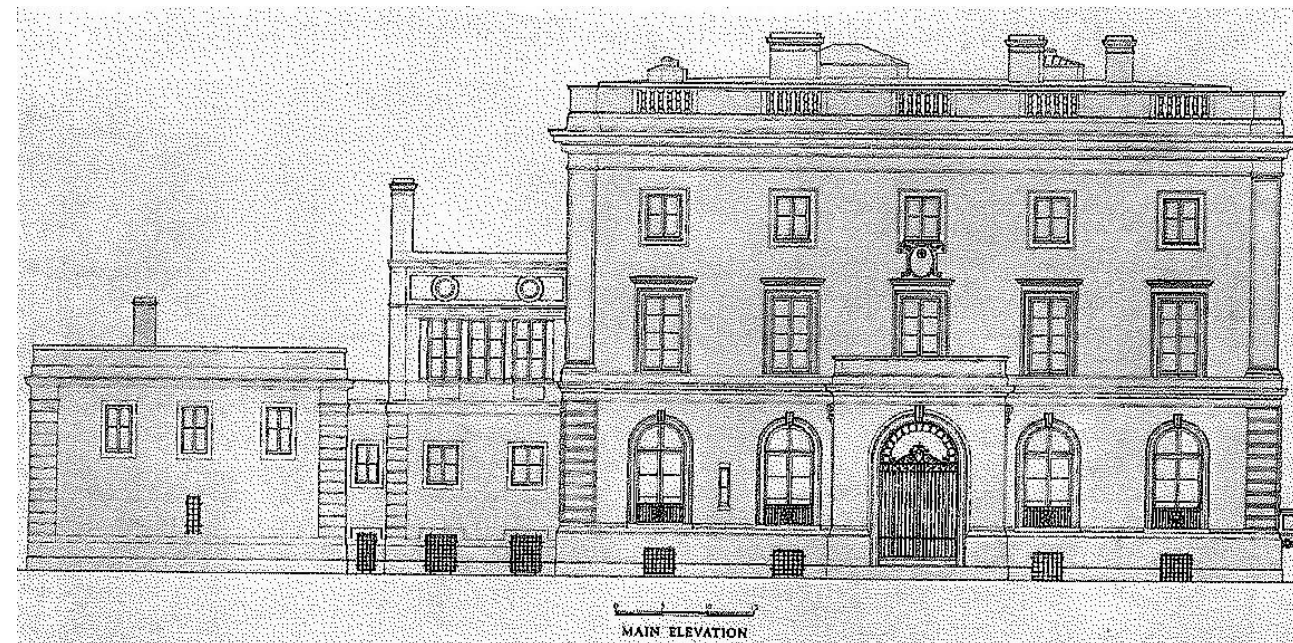




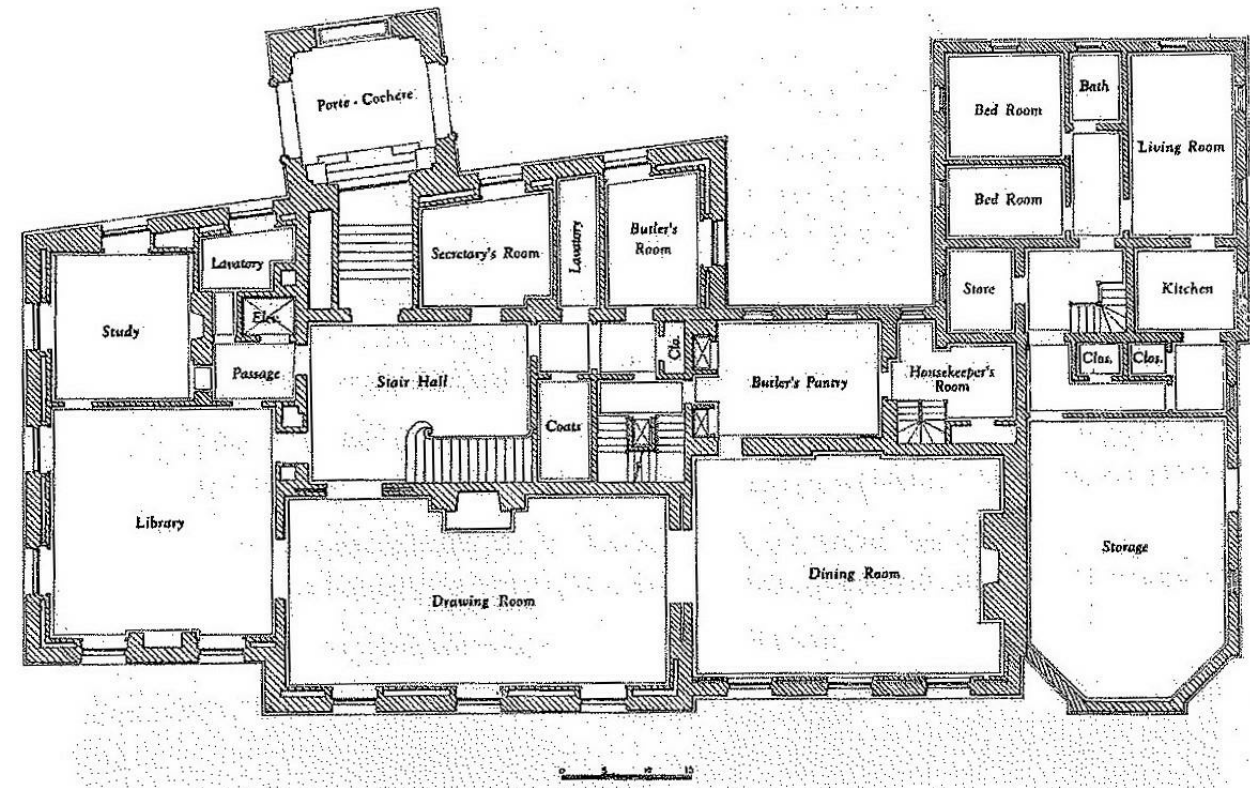
SOUTH ELEVATION OF RESIDENCE, CIRCA 1906



RESIDENCE OF ALEXANDER GRAHAM BELL, CIRCA 1884



NORTH ELEVATION OF JOHN RUSSELL POPE'S DESIGN



PLAN OF POPE'S DESIGN





WIDOW'S WALK SPACE: LEVEL 4



FROM CORNER OF RHODE ISLAND AVE AND 15TH ST



FROM RHODE ISLAND AVE



FROM N ST

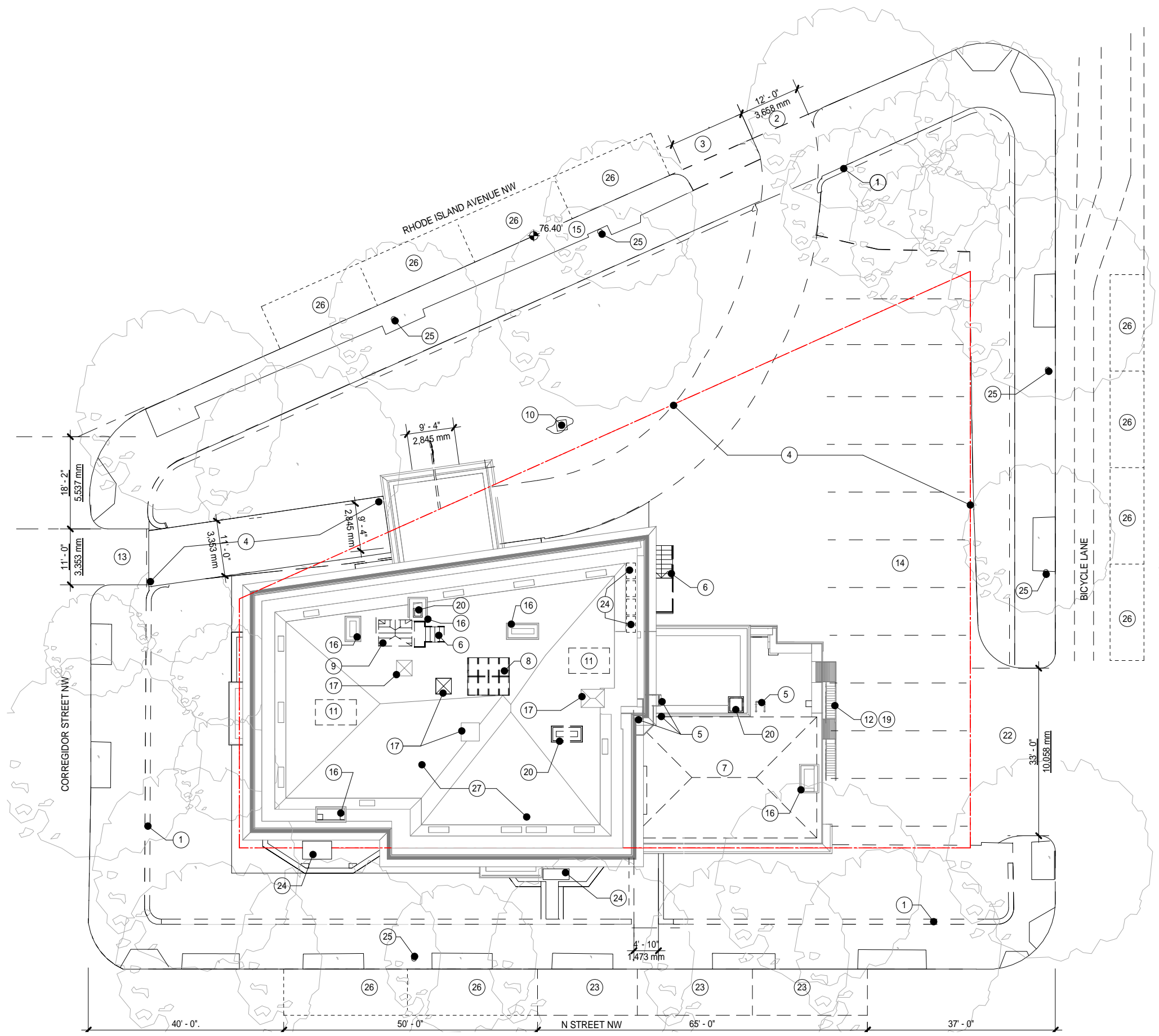


FROM CORNER OF N ST AND CORREGIDOR ST



FROM CORREGIDOR ST





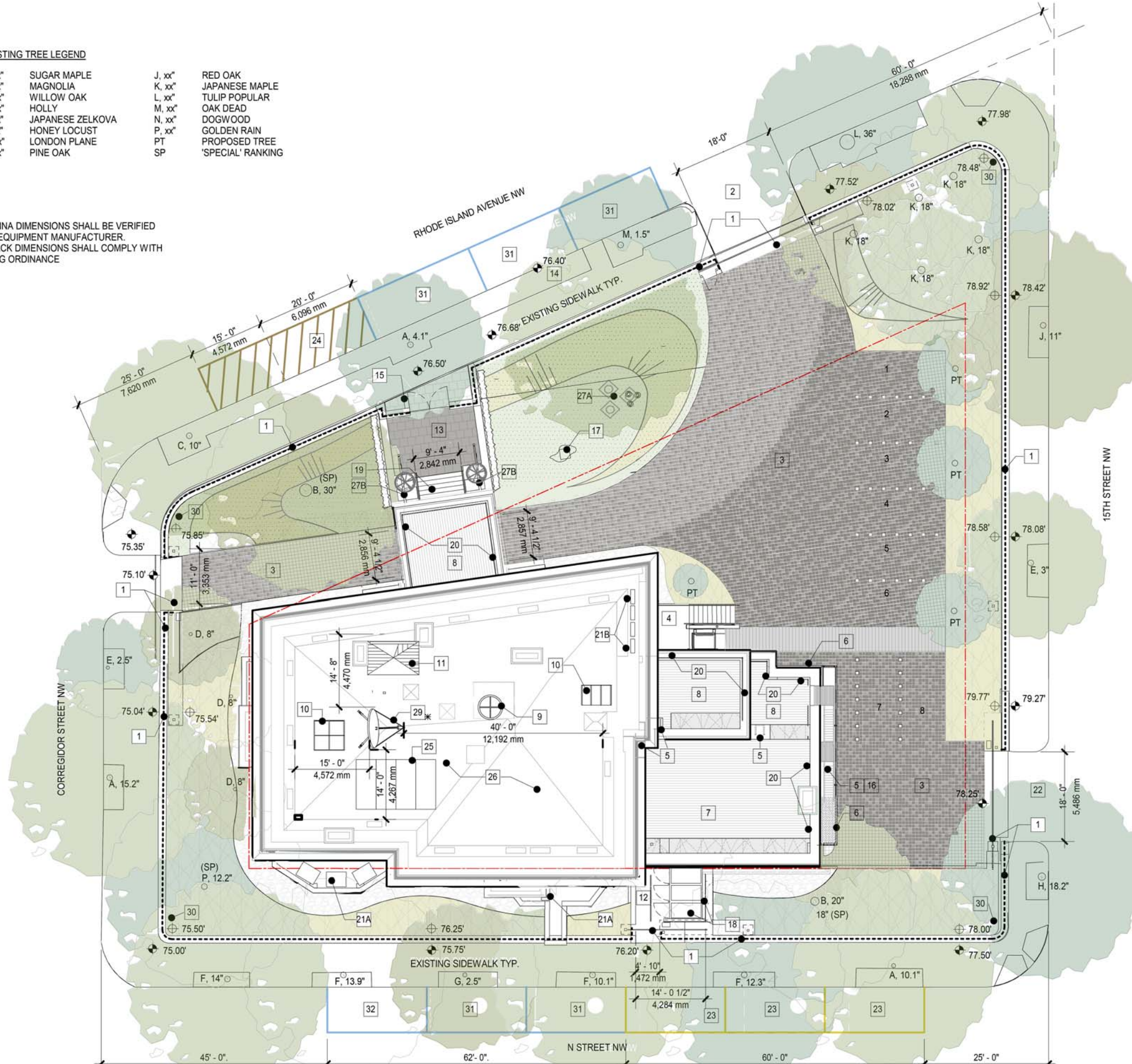
- EXISTING SITE PLAN KEYNOTES**
- ① EXISTING YARD PERIMETER CURB IN PUBLIC SPACE TO BE REMOVED
 - ② EXISTING CURB CUT TO BE REMOVED
 - ③ EXISTING CURB & SIDEWALK TO BE REMOVED FOR NEW CURB CUT
 - ④ EXISTING PAVING TO BE REMOVED
 - ⑤ EXISTING FIRE ESCAPE TO REMAIN
 - ⑥ EXISTING STEPS AND LANDING TO BE REMOVED
 - ⑦ EXISTING ROOF AND STRUCTURAL FRAMING TO BE REMOVED
 - ⑧ EXISTING SKYLIGHT TO BE MODIFIED
 - ⑨ EXISTING ELEVATOR PENTHOUSE TO BE REMOVED
 - ⑩ EXISTING STATUE TO BE REMAIN
 - ⑪ EXISTING ROOF TO BE MODIFIED FOR NEW SKYLIGHTS
 - ⑫ RETAIN / REPAIR EXISTING FIRE ESCAPE
 - ⑬ EXISTING CURB CUT TO BE RENEWED
 - ⑭ EXISTING SURFACE PARKING SPACES (TOTAL 29, SINGLE AND TANDEM PARKING)
 - ⑮ MEASURING POINT
 - ⑯ EXISTING CHIMNEY TO REMAIN: RECONSTRUCTION / MODIFICATION AS REQUIRED
 - ⑰ EXISTING ROOF VENT TO REMAIN
 - ⑱ EXISTING ROOF TERRACE TO REMAIN
 - ⑲ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
 - ⑳ EXISTING CHIMNEY TO BE REMOVED
 - ㉑ EXISTING FIRE ESCAPE TO BE REMOVED
 - ㉒ EXISTING CURB CUT TO BE REDUCED
 - ㉓ EXISTING STREET PARKING SPACES DESIGNATED TO EMBASSY OF HUNGARY DIPLOMATIC VEHICLES
 - ㉔ EXISTING MECHANICAL UNITS TO BE REMOVED
 - ㉕ EXISTING PARKING METER
 - ㉖ EXISTING PUBLIC PARKING
 - ㉗ EXISTING METAL ROOFING TO BE REMOVED
- PROPERTY LINE



EXISTING TREE LEGEND

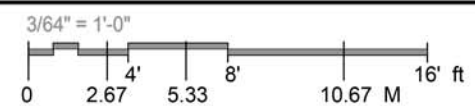
A, xx"	SUGAR MAPLE	J, xx"	RED OAK
B, xx"	MAGNOLIA	K, xx"	JAPANESE MAPLE
C, xx"	WILLOW OAK	L, xx"	TULIP POPULAR
D, xx"	HOLLY	M, xx"	OAK DEAD
E, xx"	JAPANESE ZELKOVA	N, xx"	DOGWOOD
F, xx"	HONEY LOCUST	P, xx"	GOLDEN RAIN
G, xx"	LONDON PLANE	PT	PROPOSED TREE
H, xx"	PINE OAK	SP	'SPECIAL' RANKING

* ANTENNA DIMENSIONS SHALL BE VERIFIED WITH EQUIPMENT MANUFACTURER. SETBACK DIMENSIONS SHALL COMPLY WITH ZONING ORDINANCE



- PROPOSED SITE PLAN KEYNOTES**
- 1 PERIMETER DECORATIVE AND SECURITY FENCE ON CURBS WITH MAN AND VEHICLE GATES IN PUBLIC SPACE
 - 2 RELOCATE CURB CUT ON RHODE ISLAND AVENUE
 - 3 PERMEABLE PAVEMENT DRIVEWAY, FORECOURT, AND VEHICLE PARKING (8 SPACES) ON PRIVATE PROPERTY AND IN PUBLIC SPACE
 - 4 STAIR, LANDING, AND ACCESSIBILITY LIFT ON PRIVATE PROPERTY
 - 5 RETAIN / REPAIR EXISTING FIRE ESCAPE
 - 6 DECORATIVE SCREEN WALL, ON PRIVATE PROPERTY
 - 7 ROOF TERRACE WITH VEGETATION AND PERIMETER GUARDS. REMOVE EXISTING PITCHED ROOF AND RESTRUCTURE.
 - 8 ROOF TERRACE WITH VEGETATION AND PERIMETER GUARDS
 - 9 MODIFIED SKYLIGHT
 - 10 NEW SKYLIGHTS
 - 11 MODIFIED ELEVATOR OVER-RIDE ENCLOSURE
 - 12 WIDEN WALK-OUT AREAWAY FROM BASEMENT
 - 13 NEW PEDESTRIAN ENTRANCE GATES AND STEPS
 - 14 MEASURING POINT
 - 15 NEW MAILBOX
 - 16 FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
 - 17 PROPOSED STATUE
 - 18 (3) 2 YARD TRASH AND RECYCLE BINS WITH GATES AND SCREENS
 - 19 NEW STAIR
 - 20 NEW GUARDRAIL
 - 21 NEW MECHANICAL EQUIPMENT
A: IN AREAWAY
B: ON ROOF / WIDOW'S WALK
 - 22 EXISTING CURB CUT TO BE REDUCED
 - 23 EXISTING STREET PARKING SPACES DESIGNATED TO EMBASSY OF HUNGARY DIPLOMATIC VEHICLES
 - 24 PROPOSED EMBASSY ENTRANCE PICK-UP / DROP-OFF ZONE
 - 25 NEW SOLAR PANEL
 - 26 NEW METAL ROOF
 - 27 FLAG POLE
A: VERTICAL, GROUND MOUNTED 18' TALL
B: BUILDING MOUNTED
 - 28 NEW MECHANICAL UNIT ON ROOF WIDOW'S WALK
 - 29 NEW ANTENNA(2.4M DIA.): PAINTED TO MATCH PENTHOUSE / CHIMNEYS
 - 30 SECURITY CAMERA ON POLE OUTRIGGER MOUNT
 - 31 EXISTING PUBLIC PARKING
 - 32 NEW PUBLIC PARKING
 - 33 MODIFIED KNEE WALK TO CREATE OPEN WALKWAY

- LEGEND**
- 8" X 8" OPEN-JOINT PERMEABLE PAVING UNITS
 - 8" X 8" OPEN-JOINT PERMEABLE PAVING UNITS - PARKING INDICATOR
 - 8" X 60" PAVING UNITS
 - PROPOSED GROUND COVER (ALLEGHENY SPURGE AND CRESTED IRIS)
 - CONTAINERIZED VEGETATION ON ROOF TERRACES
 - PROPOSED RIVER ROCK GARDEN
 - PROPOSED GRASS (BLUEGRASS, RYEGRASS AND CREEPING FESCUE GRASS)
 - CONCRETE PAVING
 - 12" X 12" PAVING UNITS
 - PROPERTY LINE
 - ROOF LINE
 - EXISTING GRADE
 - PROPOSED GRADE
 - METERED PARKING
 - EMBASSY PARKING
 - EVERGREEN PLANT IN CONTAINER




















EXISTING TREE LEGEND

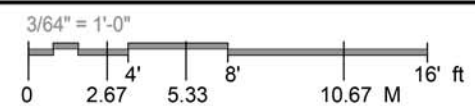
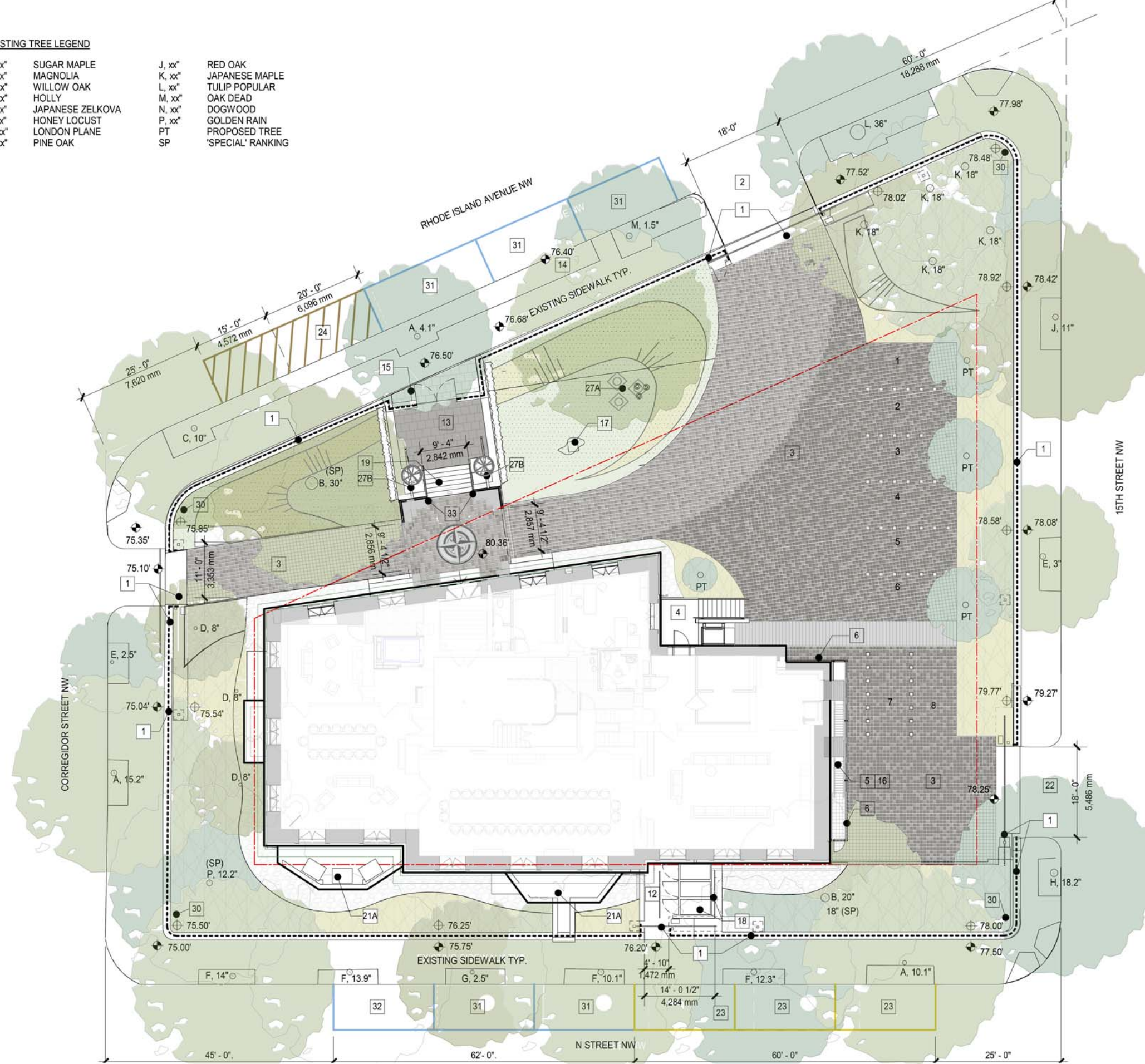
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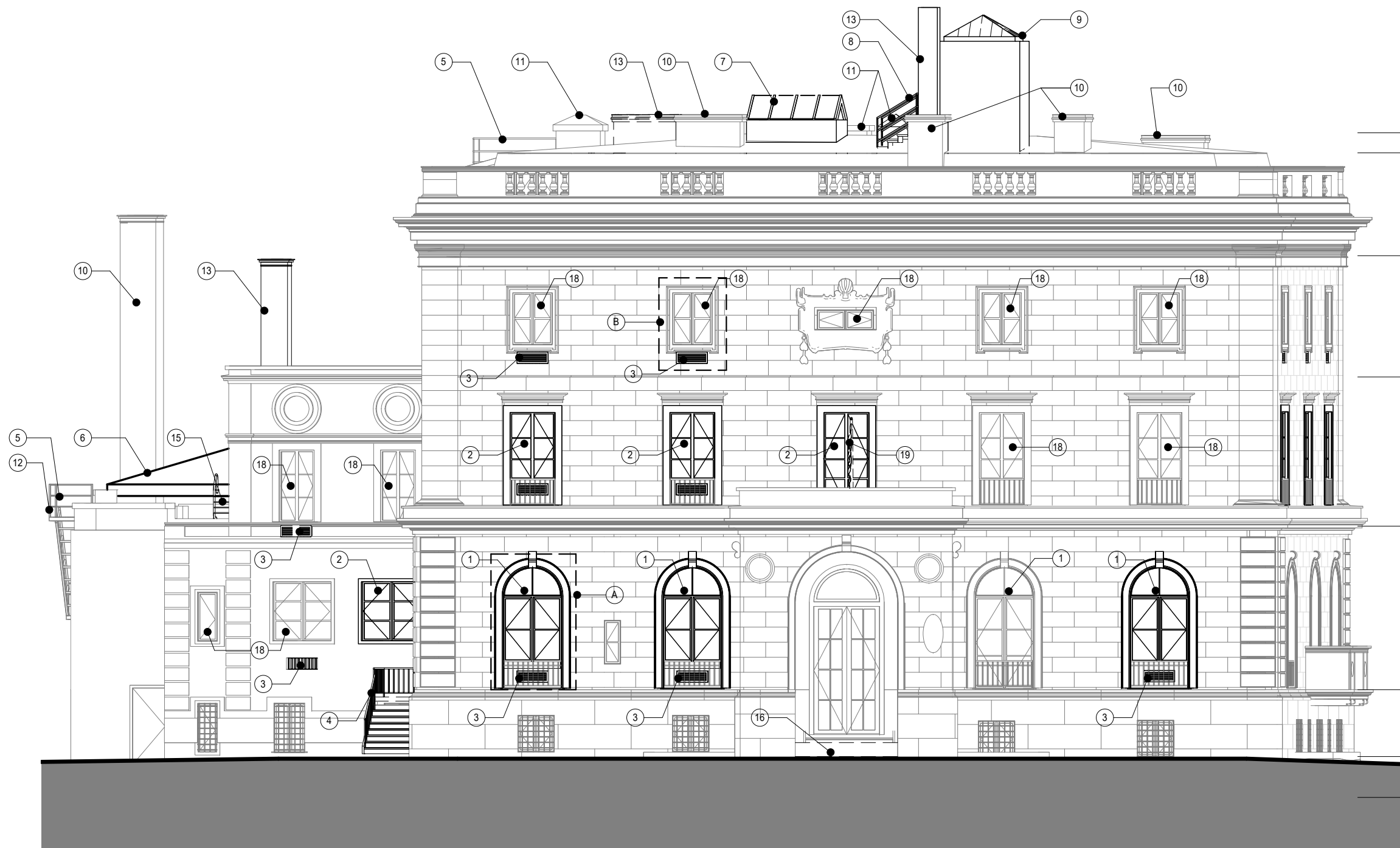
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-  CONCRETE PAVING
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-  PROPERTY LINE
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-  EXISTING GRADE
-  PROPOSED GRADE
-  METERED PARKING
-  EMBASSY PARKING
-  EVERGREEN PLANT IN CONTAINER





- EXISTING ELEVATION KEYNOTES**
- ① REMOVE EXISTING CURVE HEAD WINDOW
 - ② REMOVE EXISTING WINDOW AND AIR CONDITIONING UNIT
 - ③ REMOVE EXISTING AIR CONDITIONING UNIT
 - ④ REMOVE EXISTING METAL STAIR
 - ⑤ RETAIN / REPAIR EXISTING FIRE ESCAPE
 - ⑥ DEMOLISH EXISTING ROOF
 - ⑦ DEMOLISH EXISTING ROOF SKYLIGHT
 - ⑧ DEMOLISH EXISTING ROOF METAL STAIR
 - ⑨ DEMOLISH EXISTING ELEVATOR PENTHOUSE WALL & ROOF
 - ⑩ EXISTING CHIMNEY TO REMAIN
 - ⑪ EXISTING ROOF VENT TO REMAIN
 - ⑫ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
 - ⑬ EXISTING CHIMNEY TO BE REMOVED
 - ⑭ EXISTING DOOR TO BE REMOVED, WIDEN MASONRY OPENING TO 46 INCHES FOR NEW DOOR
 - ⑮ EXISTING FIRE ESCAPE TO BE REMOVED
 - ⑯ REMOVE EXISTING KNEE WALL
 - ⑰ REMOVE EXISTING MECHANICAL EQUIPMENT IN AREAWAY
 - ⑱ REMOVE EXISTING WINDOW
 - ⑲ REMOVE EXISTING FLAG POLE
 - ⑳ REMOVE EXISTING WINDOW AND MODIFY STONE FOR LOWER SILL

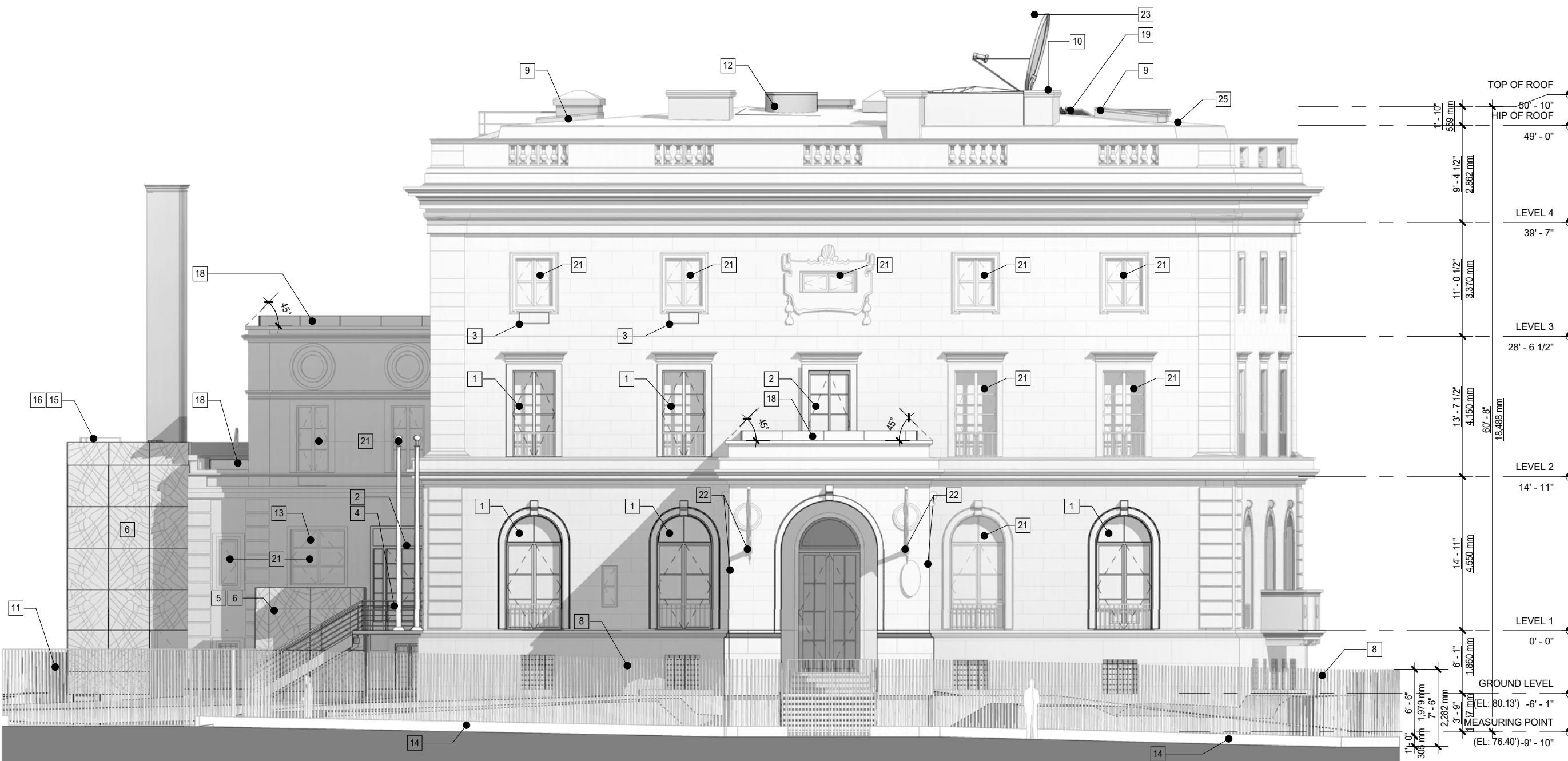
REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.

NOT ALL NUMBERS AND KEYNOTES ARE SHOWN ON EVERY SHEET.



DETAIL B EXISTING DETAIL A EXISTING

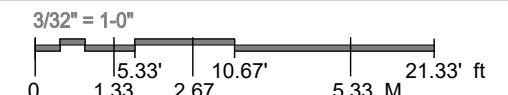




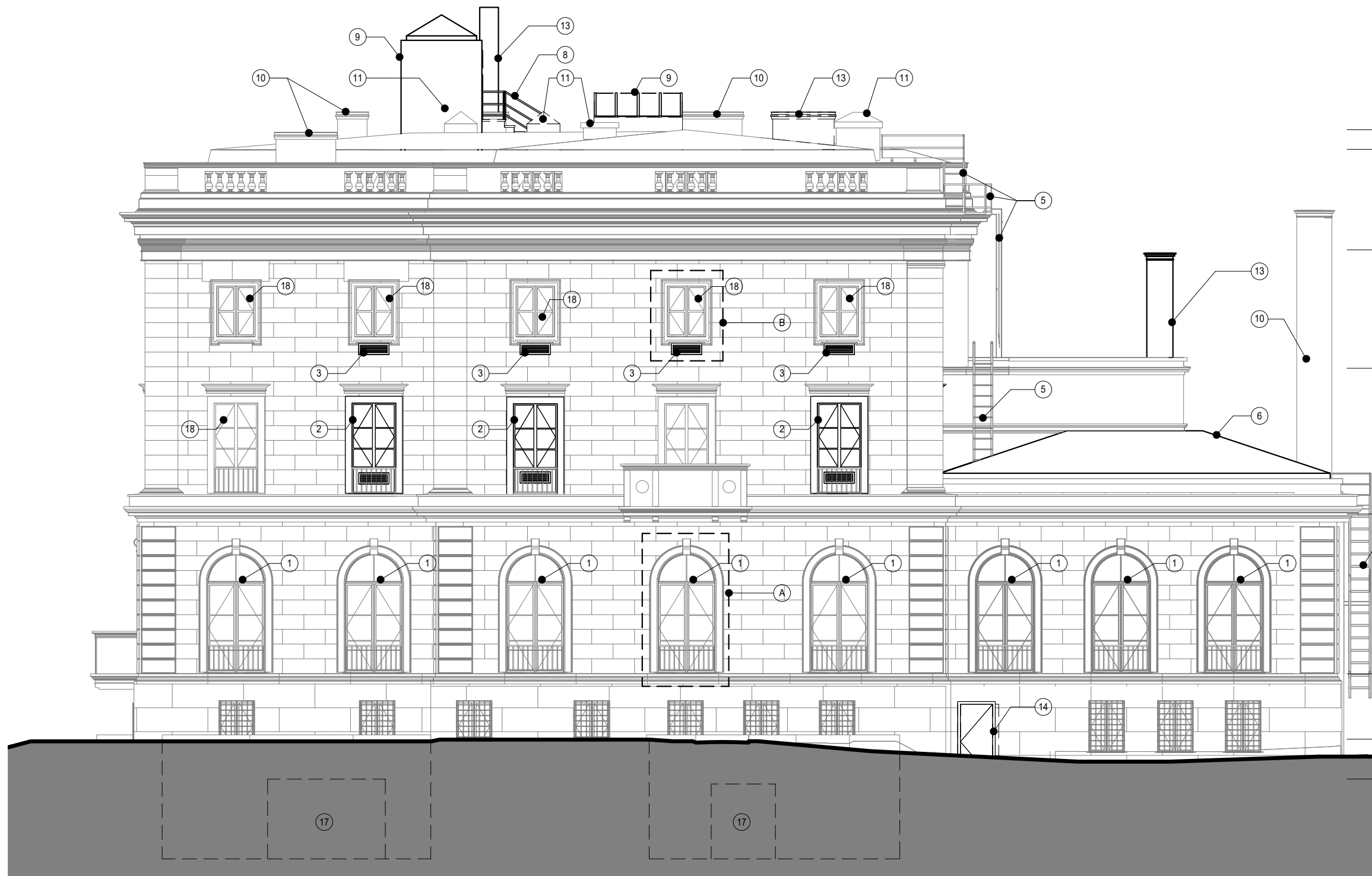
PROPOSED ELEVATION KEYNOTES

- 1 REPLACEMENT WINDOWS WITH LOWER SILL, CLEAR SECURITY FILM ON GLASS FROM INSIDE
- 2 MODIFY FACADE, REPLACE WINDOW WITH DOOR
- 3 REPAIR FACADE AT REMOVED AIR CONDITION UNIT
- 4 NEW EXTERIOR STAIR AND LANDING
- 5 NEW ACCESSIBILITY LIFT (BEHIND)
- 6 NEW DECORATIVE SCREEN WALL
- 7 NEW EGRESS DOOR
- 8 NEW SECURITY FENCE
- 9 NEW SKYLIGHT AT ROOF
- 10 NEW ELEVATOR OVER-RIDE
- 11 NEW SECURITY GATE
- 12 MODIFIED SKYLIGHT
- 13 NEW SECURITY GRILL BEHIND WINDOW
- 14 NEW CONCRETE CURB
- 15 EXISTING FIRE ESCAPE (BEHIND)
- 16 FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
- 17 NEW EXTERIOR DOOR
- 18 NEW GUARDRAIL
- 19 NEW SOLAR PANELS
- 20 NEW MECHANICAL EQUIPMENT IN AREAWAY
- 21 REPLACEMENT WINDOW
- 22 NEW FLAG POLE
- 23 NEW ANTENNA
- 24 NEW MECHANICAL EQUIPMENT ON WIDOW'S WALK
- 25 NEW METAL ROOF

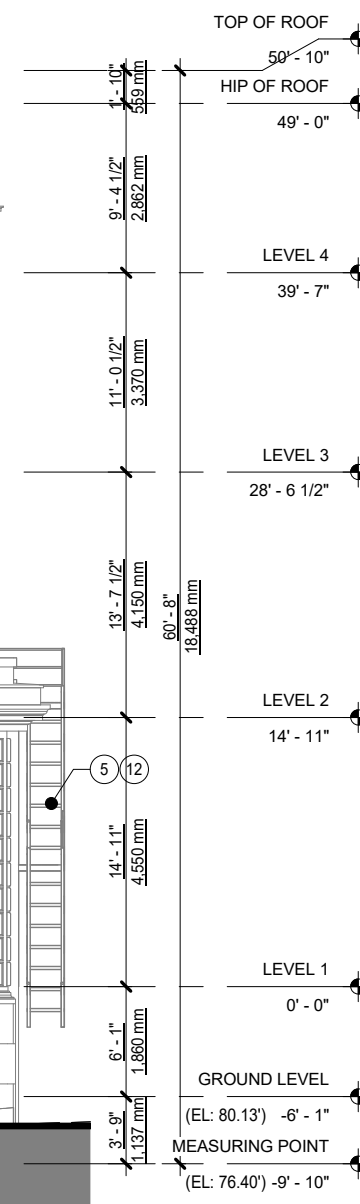
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PROPOSED NORTH ELEVATION

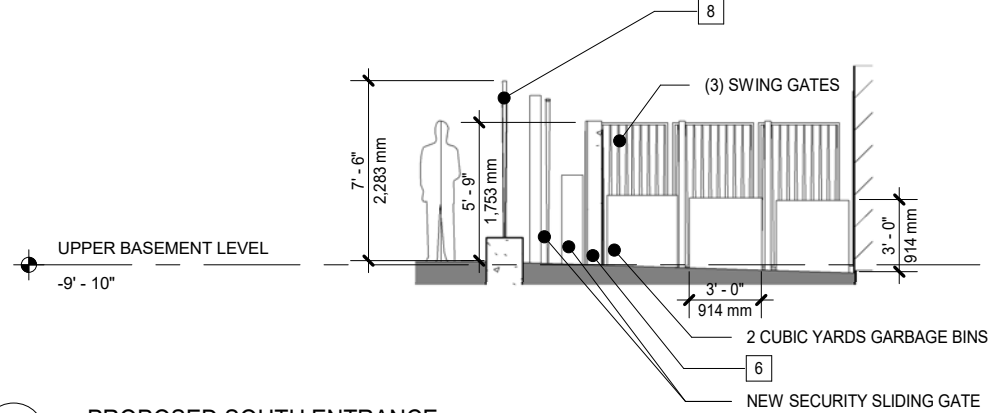


- EXISTING ELEVATION KEYNOTES**
- ① REMOVE EXISTING CURVE HEAD WINDOW
 - ② REMOVE EXISTING WINDOW AND AIR CONDITIONING UNIT
 - ③ REMOVE EXISTING AIR CONDITIONING UNIT
 - ④ REMOVE EXISTING METAL STAIR
 - ⑤ RETAIN / REPAIR EXISTING FIRE ESCAPE
 - ⑥ DEMOLISH EXISTING ROOF
 - ⑦ DEMOLISH EXISTING ROOF SKYLIGHT
 - ⑧ DEMOLISH EXISTING ROOF METAL STAIR
 - ⑨ DEMOLISH EXISTING ELEVATOR PENTHOUSE WALL & ROOF
 - ⑩ EXISTING CHIMNEY TO REMAIN
 - ⑪ EXISTING ROOF VENT TO REMAIN
 - ⑫ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
 - ⑬ EXISTING CHIMNEY TO BE REMOVED
 - ⑭ EXISTING DOOR TO BE REMOVED, WIDEN MASONRY OPENING TO 46 INCHES FOR NEW DOOR
 - ⑮ EXISTING FIRE ESCAPE TO BE REMOVED
 - ⑯ REMOVE EXISTING KNEE WALL
 - ⑰ REMOVE EXISTING MECHANICAL EQUIPMENT IN AREAWAY
 - ⑱ REMOVE EXISTING WINDOW
 - ⑲ REMOVE EXISTING FLAG POLE
 - ⑳ REMOVE EXISTING WINDOW AND MODIFY STONE FOR LOWER SILL
- REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
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DETAIL B EXISTING DETAIL A EXISTING



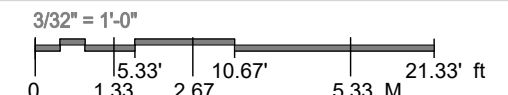
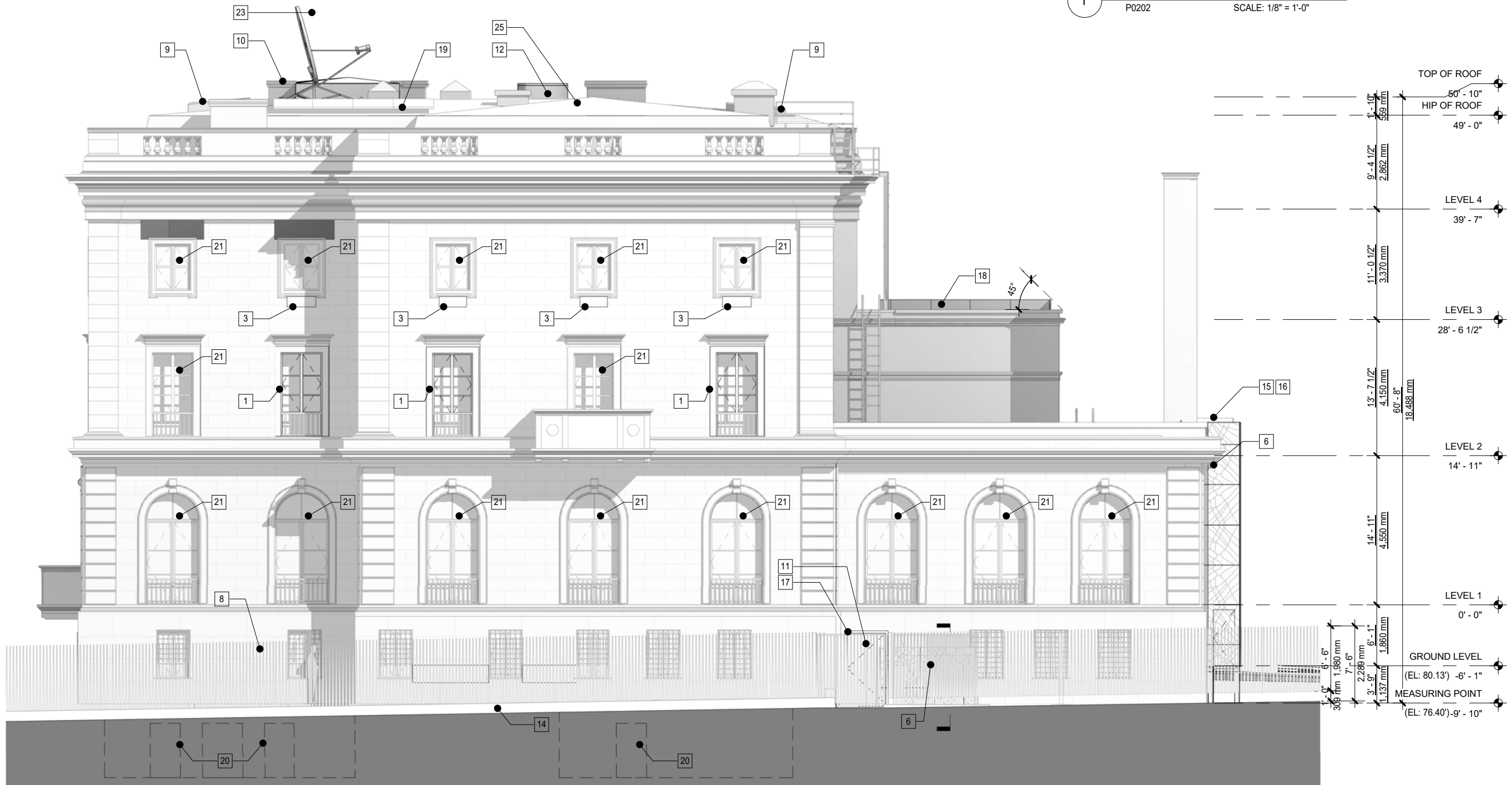


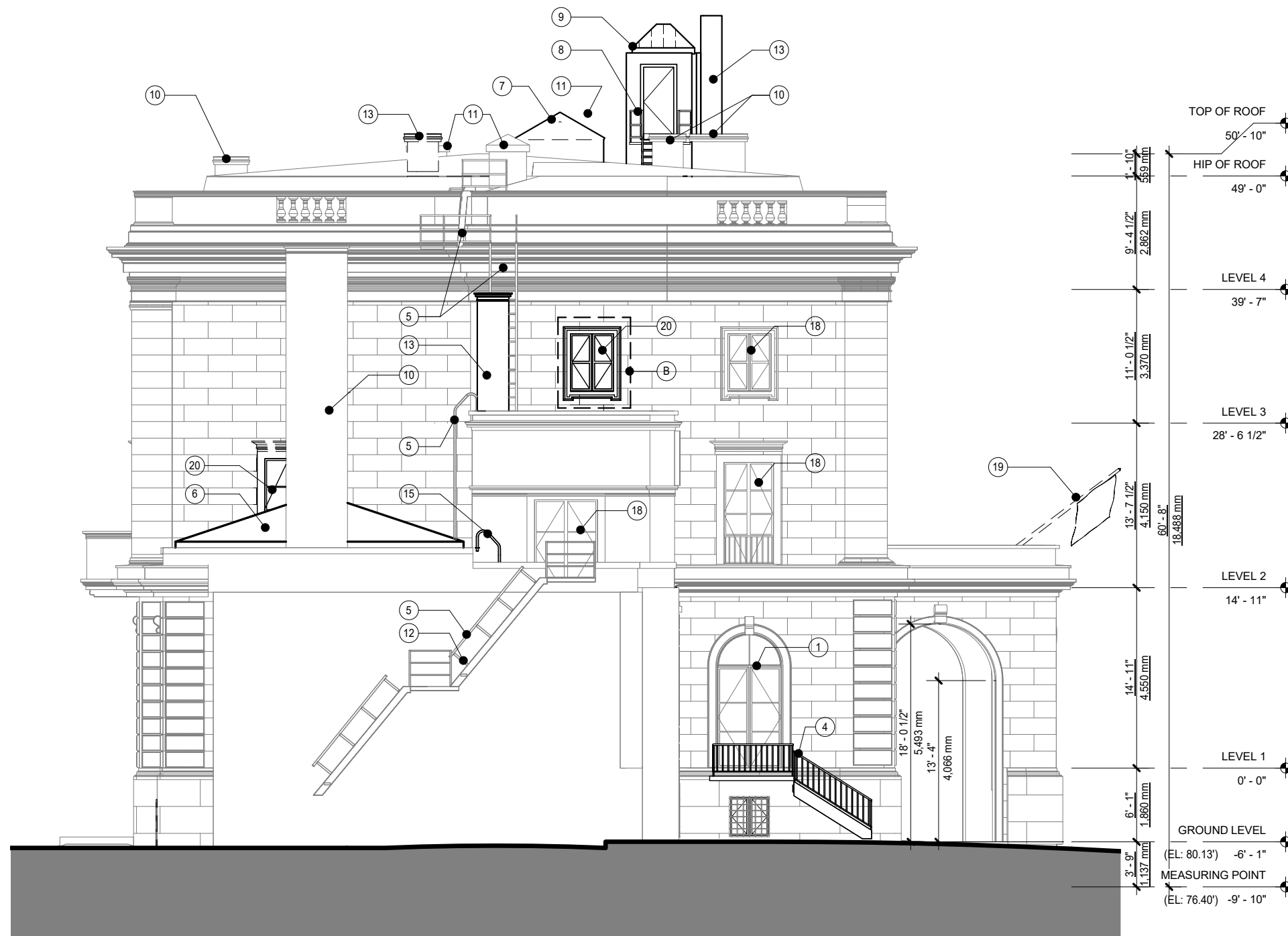
1 PROPOSED SOUTH ENTRANCE
P0202 SCALE: 1/8" = 1'-0"

PROPOSED ELEVATION KEYNOTES

- 1 REPLACEMENT WINDOWS WITH LOWER SILL, CLEAR SECURITY FILM ON GLASS FROM INSIDE
- 2 MODIFY FACADE, REPLACE WINDOW WITH DOOR
- 3 REPAIR FACADE AT REMOVED AIR CONDITION UNIT
- 4 NEW EXTERIOR STAIR AND LANDING
- 5 NEW ACCESSIBILITY LIFT (BEHIND)
- 6 NEW DECORATIVE SCREEN WALL
- 7 NEW EGRESS DOOR
- 8 NEW SECURITY FENCE
- 9 NEW SKYLIGHT AT ROOF
- 10 NEW ELEVATOR OVER-RIDE
- 11 NEW SECURITY GATE
- 12 MODIFIED SKYLIGHT
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- 17 NEW EXTERIOR DOOR
- 18 NEW GUARDRAIL
- 19 NEW SOLAR PANELS
- 20 NEW MECHANICAL EQUIPMENT IN AREAWAY
- 21 REPLACEMENT WINDOW
- 22 NEW FLAG POLE
- 23 NEW ANTENNA
- 24 NEW MECHANICAL EQUIPMENT ON WIDOW'S WALK
- 25 NEW METAL ROOF

REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
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- EXISTING ELEVATION KEYNOTES**
- ① REMOVE EXISTING CURVE HEAD WINDOW
 - ② REMOVE EXISTING WINDOW AND AIR CONDITIONING UNIT
 - ③ REMOVE EXISTING AIR CONDITIONING UNIT
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 - ⑥ DEMOLISH EXISTING ROOF
 - ⑦ DEMOLISH EXISTING ROOF SKYLIGHT
 - ⑧ DEMOLISH EXISTING ROOF METAL STAIR
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 - ⑯ REMOVE EXISTING KNEE WALL
 - ⑰ REMOVE EXISTING MECHANICAL EQUIPMENT IN AREAWAY
 - ⑱ REMOVE EXISTING WINDOW
 - ⑳ REMOVE EXISTING FLAG POLE

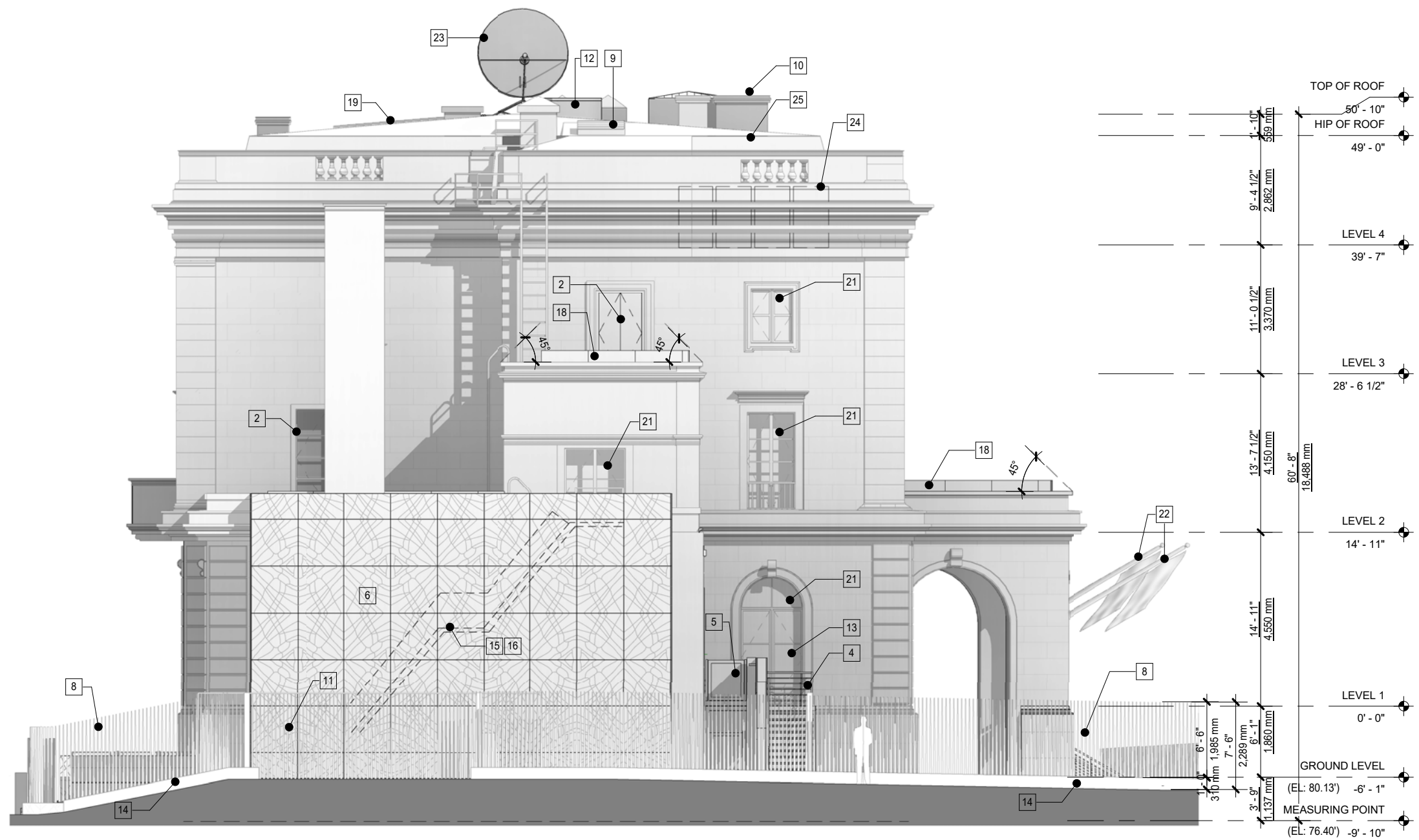
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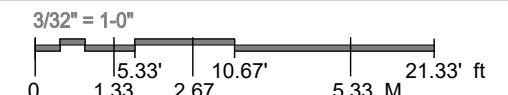




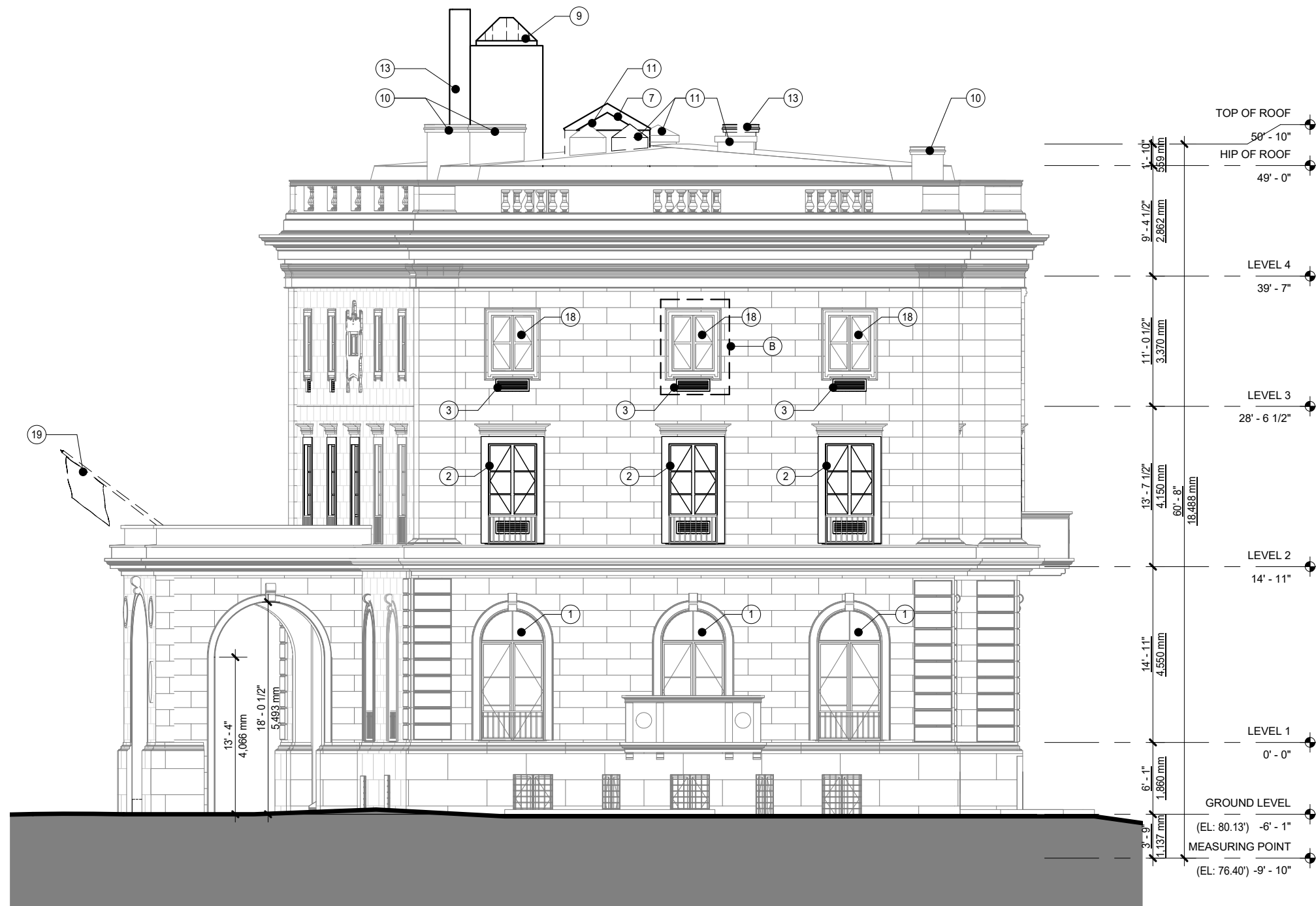
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- 24 NEW MECHANICAL EQUIPMENT ON WIDOW'S WALK
- 25 NEW METAL ROOF

REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
 NOT ALL NUMBERS AND KEYNOTES ARE SHOWN ON EVERY SHEET.



PROPOSED EAST ELEVATION

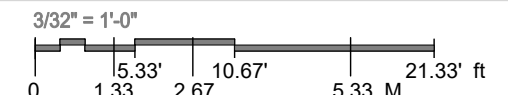


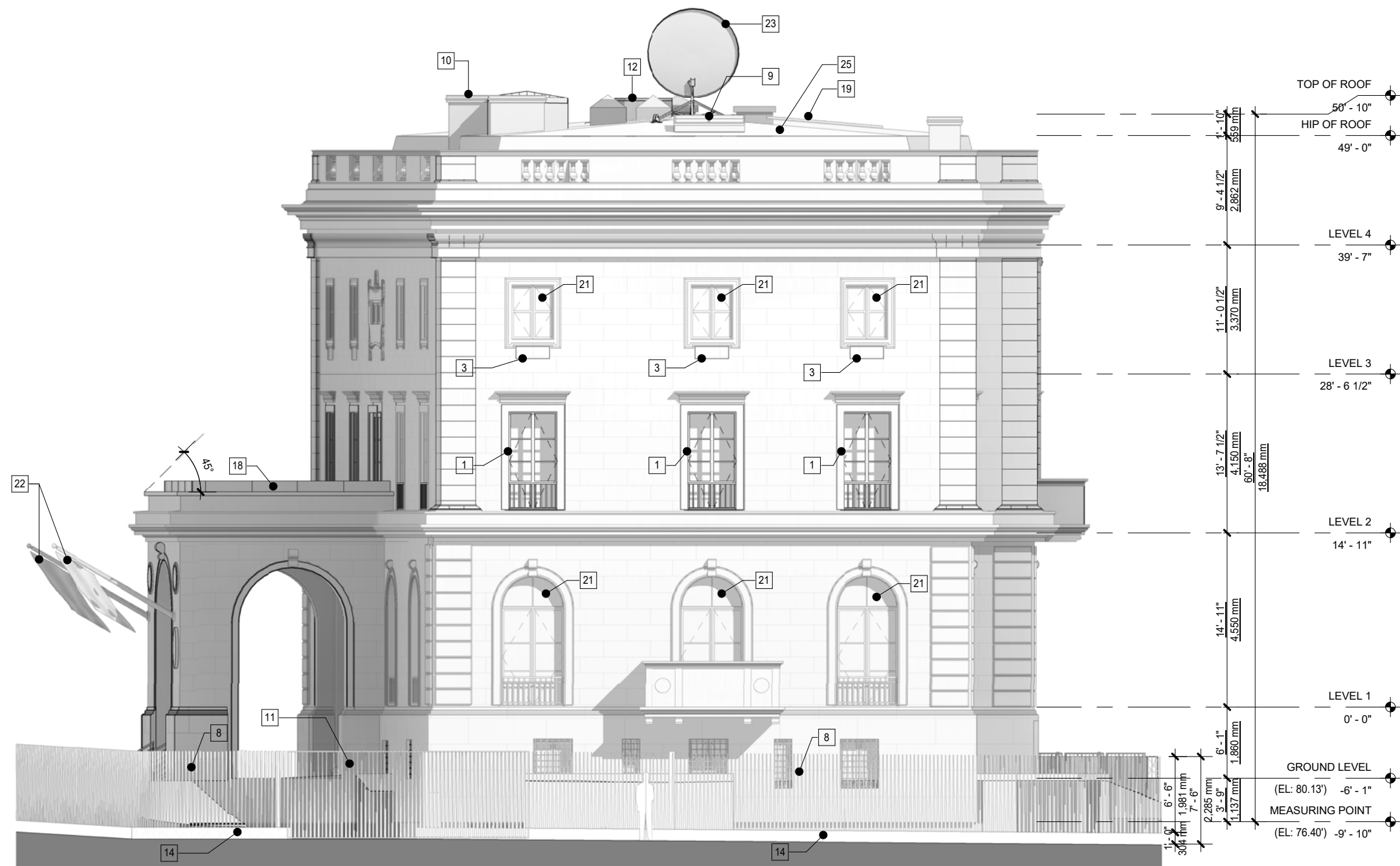
- EXISTING ELEVATION KEYNOTES**
- ① REMOVE EXISTING CURVE HEAD WINDOW
 - ② REMOVE EXISTING WINDOW AND AIR CONDITIONING UNIT
 - ③ REMOVE EXISTING AIR CONDITIONING UNIT
 - ④ REMOVE EXISTING METAL STAIR
 - ⑤ RETAIN / REPAIR EXISTING FIRE ESCAPE
 - ⑥ DEMOLISH EXISTING ROOF
 - ⑦ DEMOLISH EXISTING ROOF SKYLIGHT
 - ⑧ DEMOLISH EXISTING ROOF METAL STAIR
 - ⑨ DEMOLISH EXISTING ELEVATOR PENTHOUSE WALL & ROOF
 - ⑩ EXISTING CHIMNEY TO REMAIN
 - ⑪ EXISTING ROOF VENT TO REMAIN
 - ⑫ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
 - ⑬ EXISTING CHIMNEY TO BE REMOVED
 - ⑭ EXISTING DOOR TO BE REMOVED, WIDEN MASONRY OPENING TO 46 INCHES FOR NEW DOOR
 - ⑮ EXISTING FIRE ESCAPE TO BE REMOVED
 - ⑯ REMOVE EXISTING KNEE WALL
 - ⑰ REMOVE EXISTING MECHANICAL EQUIPMENT IN AREAWAY
 - ⑱ REMOVE EXISTING WINDOW
 - ⑲ REMOVE EXISTING FLAG POLE
 - ⑳ REMOVE EXISTING WINDOW AND MODIFY STONE FOR LOWER SILL
- REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
- NOT ALL NUMBERS AND KEYNOTES ARE SHOWN ON EVERY SHEET.



DETAIL B EXISTING

DETAIL A EXISTING

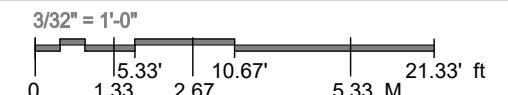




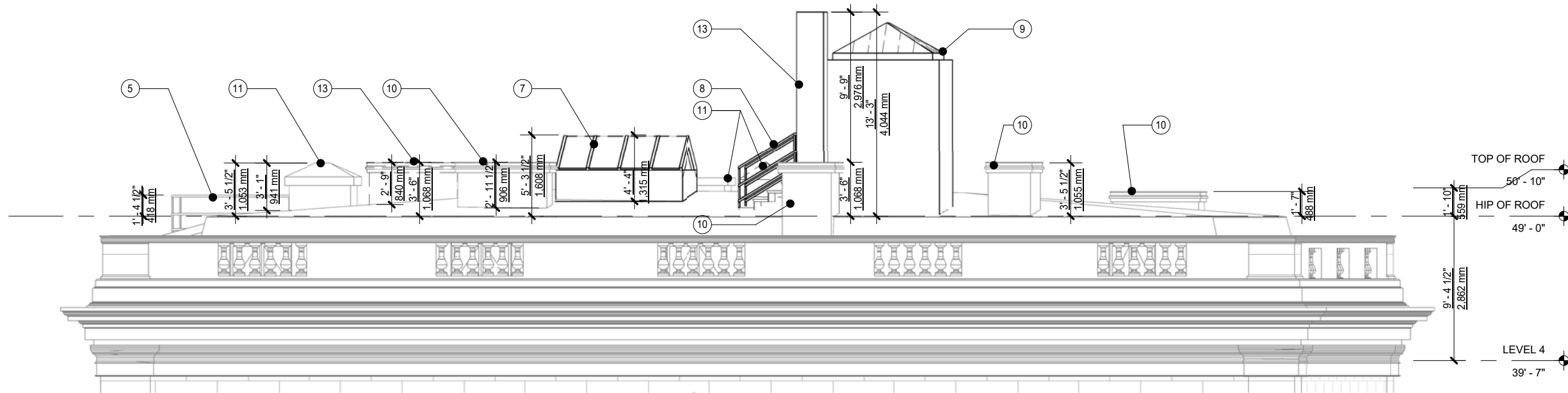
PROPOSED ELEVATION KEYNOTES

- 1 REPLACEMENT WINDOWS WITH LOWER SILL, CLEAR SECURITY FILM ON GLASS FROM INSIDE
- 2 MODIFY FACADE, REPLACE WINDOW WITH DOOR
- 3 REPAIR FACADE AT REMOVED AIR CONDITION UNIT
- 4 NEW EXTERIOR STAIR AND LANDING
- 5 NEW ACCESSIBILITY LIFT (BEHIND)
- 6 NEW DECORATIVE SCREEN WALL
- 7 NEW EGRESS DOOR
- 8 NEW SECURITY FENCE
- 9 NEW SKYLIGHT AT ROOF
- 10 NEW ELEVATOR OVER-RIDE
- 11 NEW SECURITY GATE
- 12 MODIFIED SKYLIGHT
- 13 NEW SECURITY GRILL BEHIND WINDOW
- 14 NEW CONCRETE CURB
- 15 EXISTING FIRE ESCAPE (BEHIND)
- 16 FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
- 17 NEW EXTERIOR DOOR
- 18 NEW GUARDRAIL
- 19 NEW SOLAR PANELS
- 20 NEW MECHANICAL EQUIPMENT IN AREAWAY
- 21 REPLACEMENT WINDOW
- 22 NEW FLAG POLE
- 23 NEW ANTENNA
- 24 NEW MECHANICAL EQUIPMENT ON WIDOW'S WALK
- 25 NEW METAL ROOF

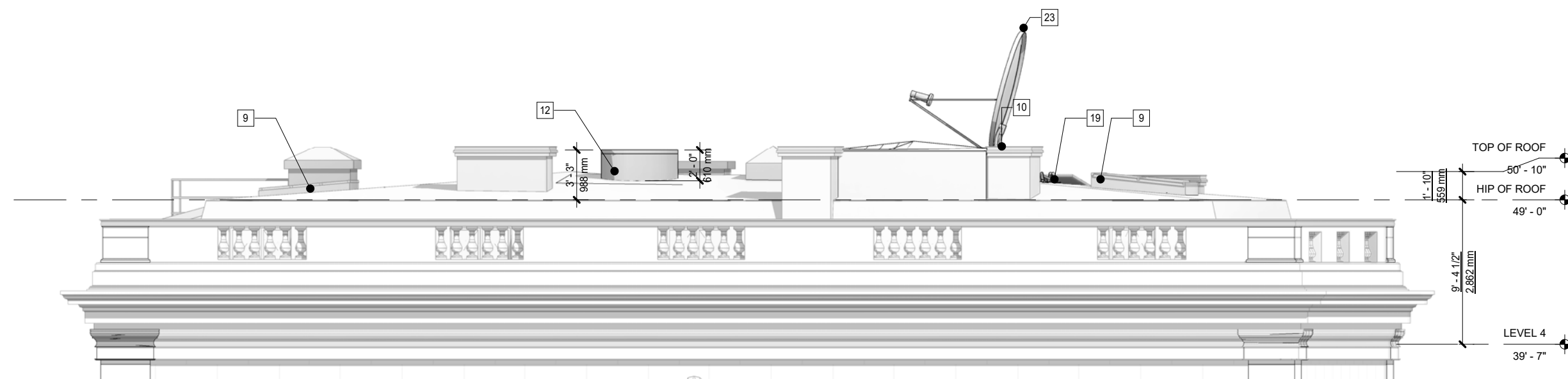
REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
 NOT ALL NUMBERS AND KEYNOTES ARE SHOWN ON EVERY SHEET.



PROPOSED WEST ELEVATION



ENLARGED ROOF ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



ENLARGED ROOF ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

EXISTING ELEVATION KEYNOTES

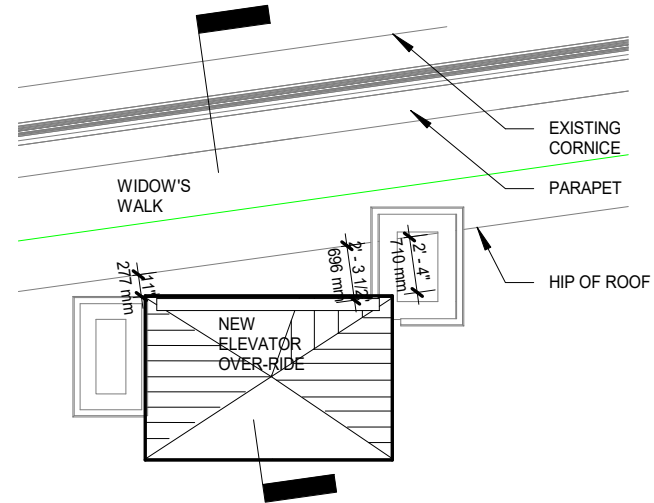
- ① REMOVE EXISTING CURVE HEAD WINDOW
 - ② REMOVE EXISTING WINDOW AND AIR CONDITIONING UNIT
 - ③ REMOVE EXISTING AIR CONDITIONING UNIT
 - ④ REMOVE EXISTING METAL STAIR
 - ⑤ RETAIN / REPAIR EXISTING FIRE ESCAPE
 - ⑥ DEMOLISH EXISTING ROOF
 - ⑦ DEMOLISH EXISTING ROOF SKYLIGHT
 - ⑧ DEMOLISH EXISTING ROOF METAL STAIR
 - ⑨ DEMOLISH EXISTING ELEVATOR PENTHOUSE WALL & ROOF
 - ⑩ EXISTING CHIMNEY TO REMAIN
 - ⑪ EXISTING ROOF VENT TO REMAIN
 - ⑫ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
 - ⑬ EXISTING CHIMNEY TO BE REMOVED
 - ⑭ EXISTING DOOR TO BE REMOVED, WIDEN MASONRY OPENING TO 46 INCHES FOR NEW DOOR
 - ⑮ EXISTING FIRE ESCAPE TO BE REMOVED
 - ⑯ REMOVE EXISTING KNEE WALL
 - ⑰ REMOVE EXISTING MECHANICAL EQUIPMENT IN AREAWAY
 - ⑱ REMOVE EXISTING WINDOW
 - ⑲ REMOVE EXISTING FLAG POLE
 - ⑳ REMOVE EXISTING WINDOW AND MODIFY STONE FOR LOWER SILL
- REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.
- NOT ALL NUMBERS AND KEYNOTES ARE SHOWN ON EVERY SHEET.

PROPOSED ELEVATION KEYNOTES

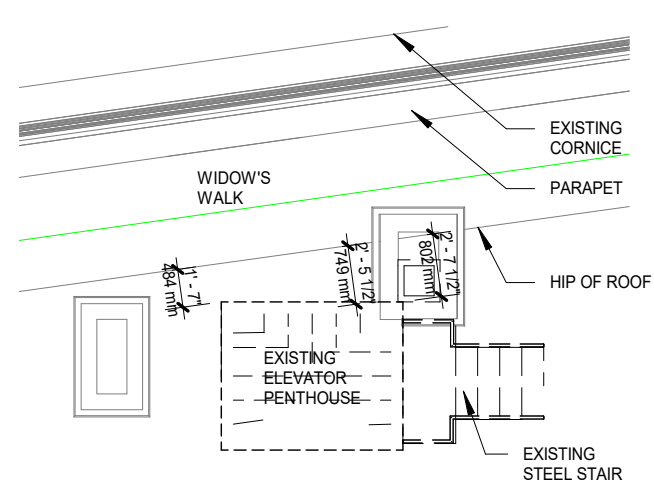
- ① REPLACEMENT WINDOWS WITH LOWER SILL. CLEAR SECURITY FILM ON GLASS FROM INSIDE
- ② MODIFY FACADE, REPLACE WINDOW WITH DOOR
- ③ REPAIR FACADE AT REMOVED AIR CONDITION UNIT
- ④ NEW EXTERIOR STAIR AND LANDING
- ⑤ NEW ACCESSIBILITY LIFT (BEHIND)
- ⑥ NEW DECORATIVE SCREEN WALL
- ⑦ NEW EGRESS DOOR
- ⑧ NEW SECURITY FENCE
- ⑨ NEW SKYLIGHT AT ROOF
- ⑩ NEW ELEVATOR OVER-RIDE
- ⑪ NEW SECURITY GATE
- ⑫ MODIFIED SKYLIGHT
- ⑬ NEW SECURITY GRILL BEHIND WINDOW
- ⑭ NEW CONCRETE CURB
- ⑮ EXISTING FIRE ESCAPE (BEHIND)
- ⑯ FLEXIBILITY TO REPLACE EXISTING FIRE ESCAPE WITH EXTERIOR STAIR IN THE SAME GENERAL LOCATION AT THE SAME APPROXIMATE SIZE.
- ⑰ NEW EXTERIOR DOOR
- ⑱ NEW GUARDRAIL
- ⑲ NEW SOLAR PANELS
- ⑳ NEW MECHANICAL EQUIPMENT IN AREAWAY
- ㉑ REPLACEMENT WINDOW
- ㉒ NEW FLAG POLE
- ㉓ NEW ANTENNA
- ㉔ NEW MECHANICAL EQUIPMENT ON WIDOW'S WALK
- ㉕ NEW METAL ROOF

REPLACE ALL EXISTING WINDOWS AND DOORS WITH NEW WINDOWS/DOORS WITH SAME SIZE, MATERIAL AND APPEARANCE UNLESS NOTED OTHERWISE.

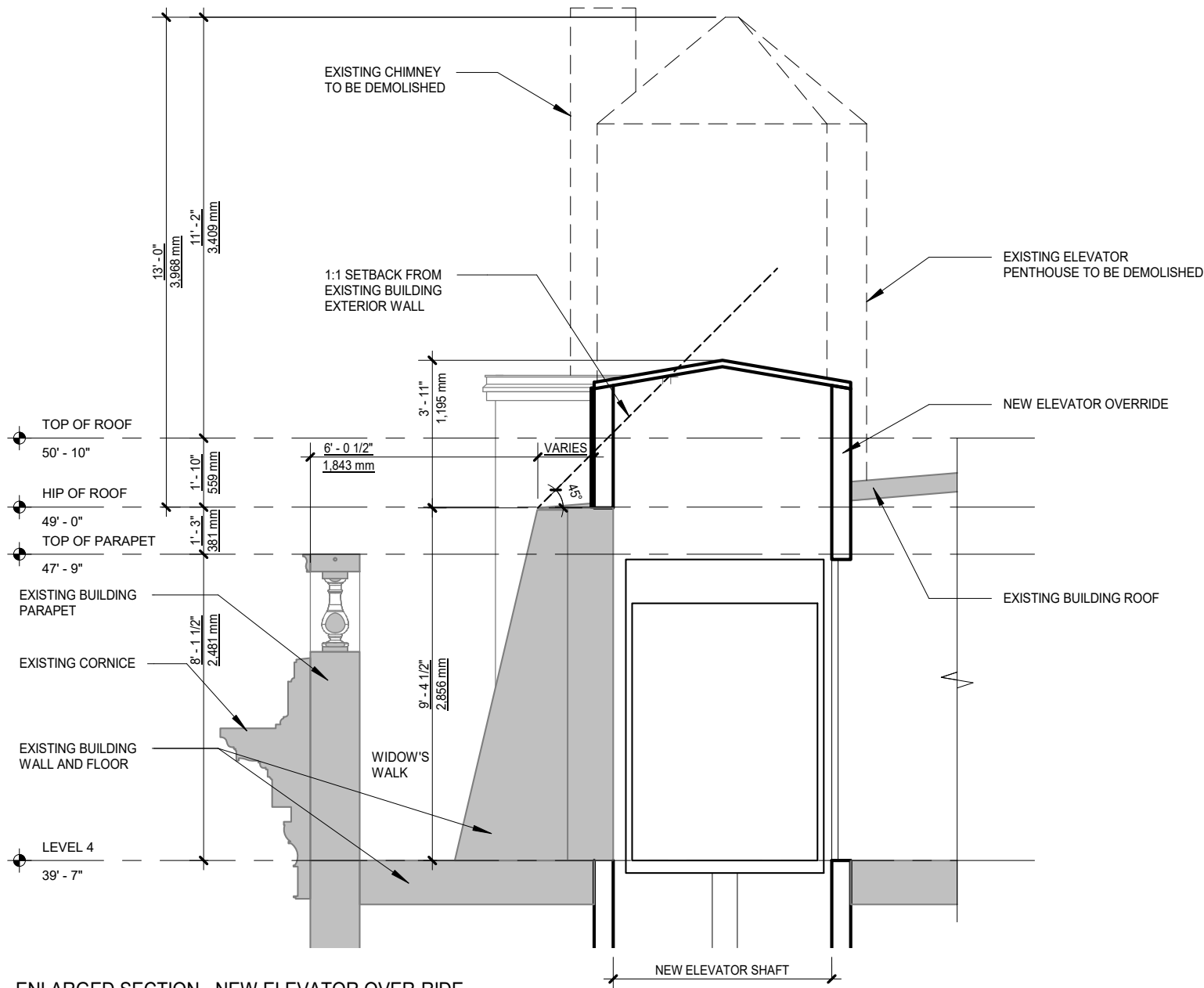




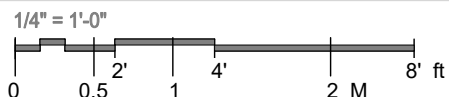
ENLARGED PLAN - NEW ELEVATOR OVER-RIDE
SCALE: 1/8" = 1'-0"



ENLARGED PLAN - EXISTING ELEVATOR PENTHOUSE
SCALE: 1/8" = 1'-0"

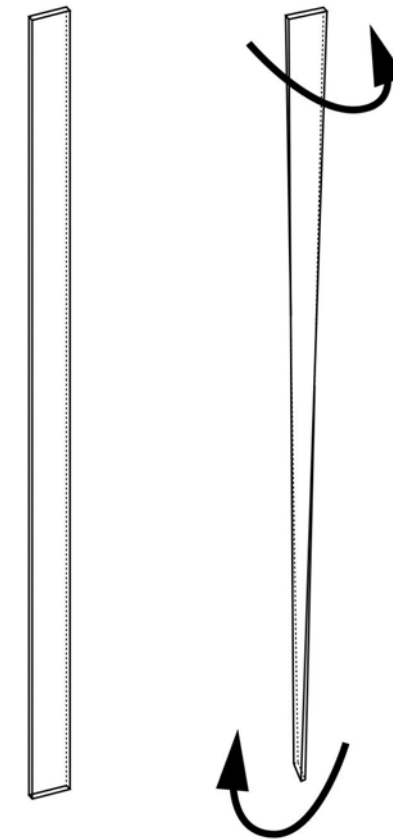
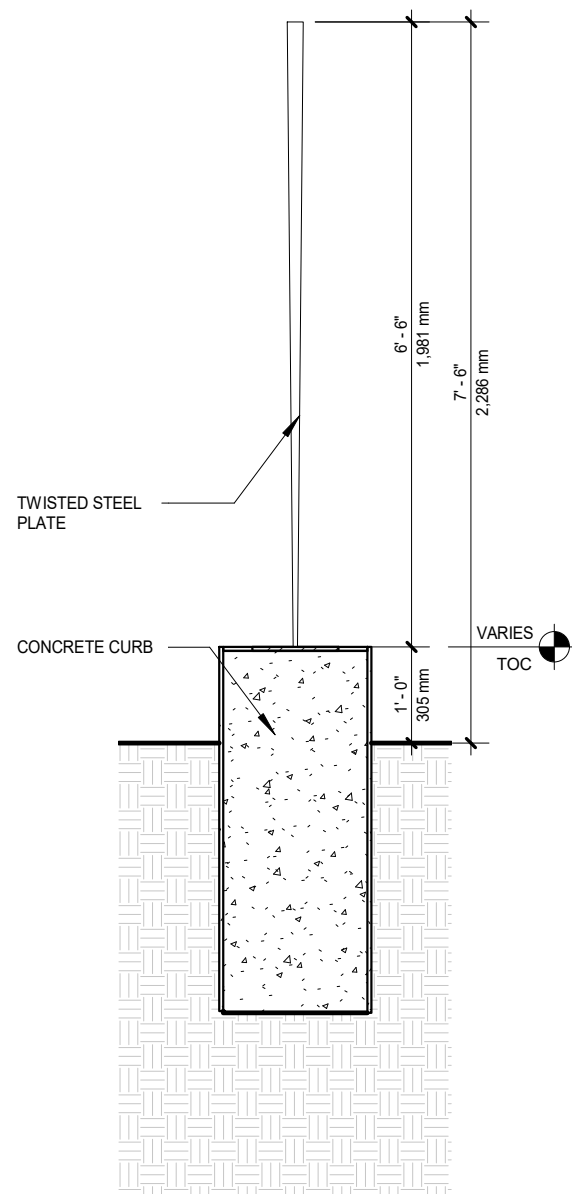
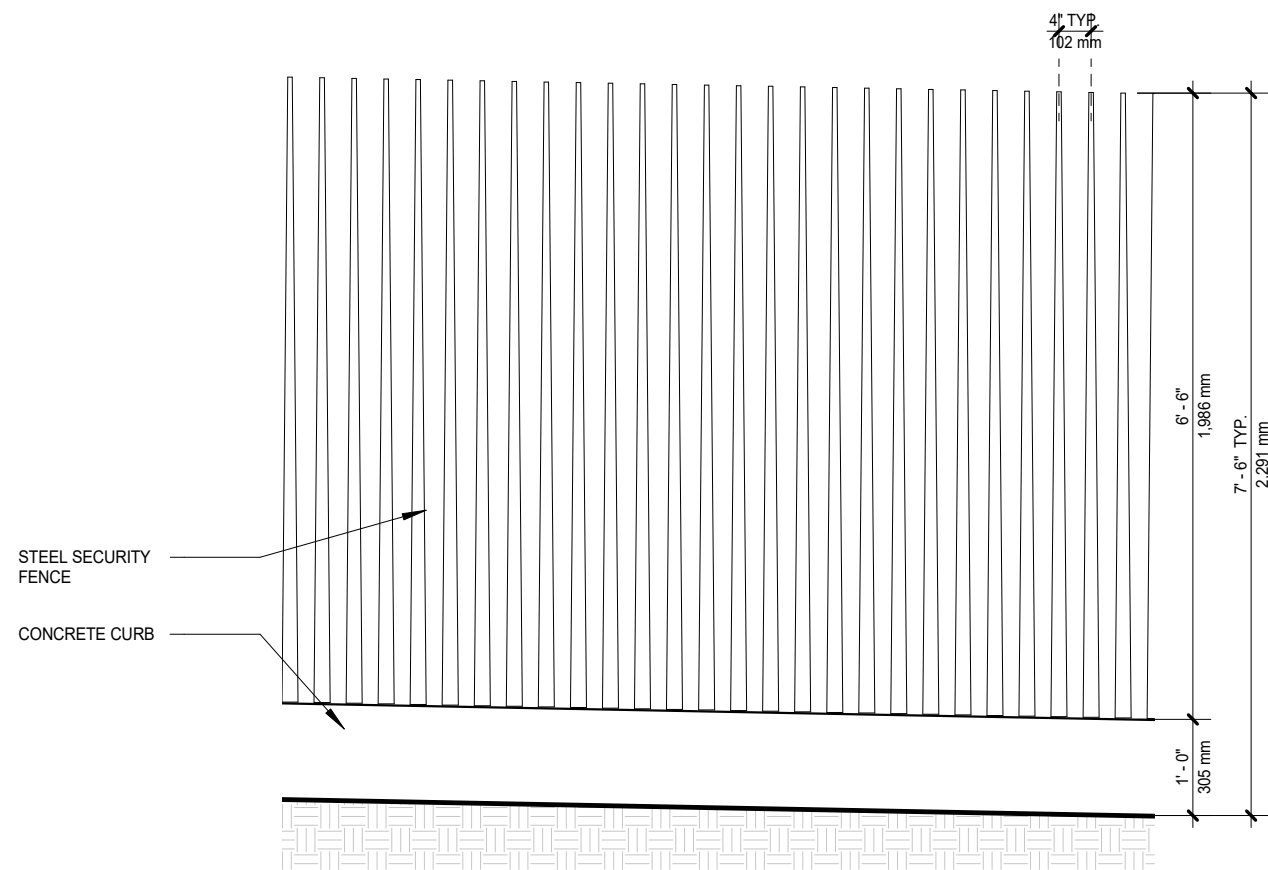


ENLARGED SECTION - NEW ELEVATOR OVER-RIDE
SCALE: 1/4" = 1'-0"



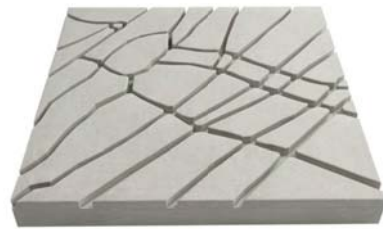
PROPOSED ELEVATOR OVER-RIDE



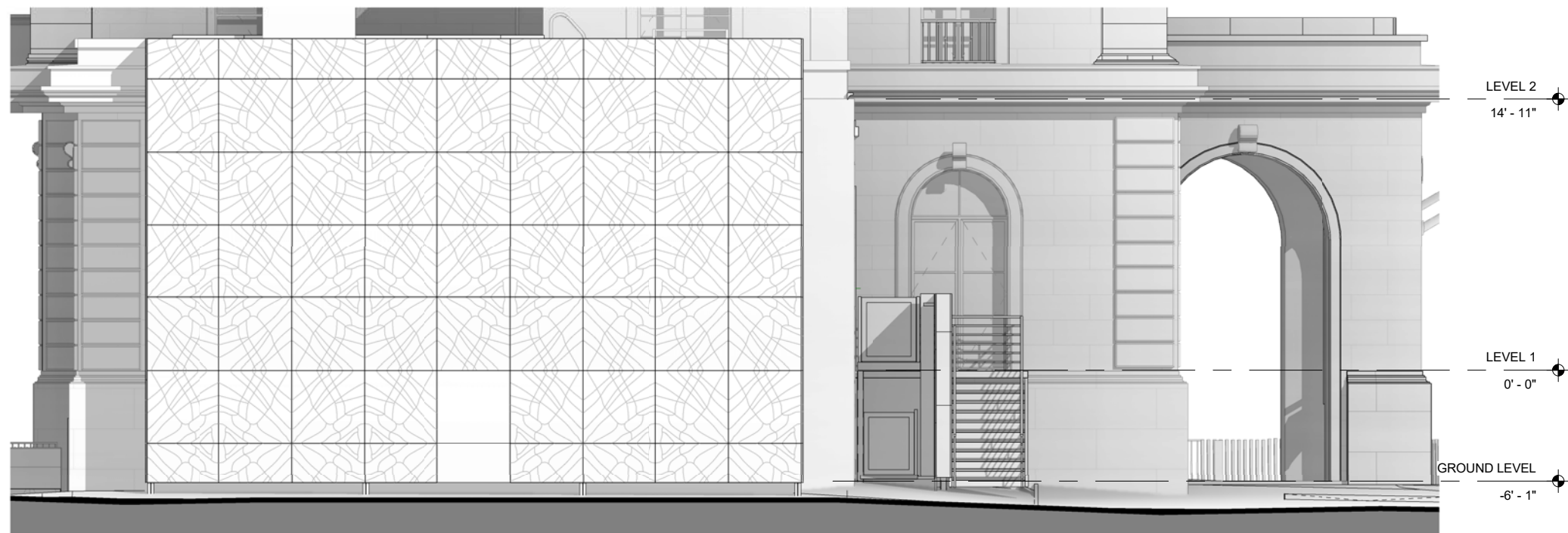


CONCEPT: TWISTED STEEL PLATE TO ACHIEVE BOTH SECURITY FUNCTION AND AESTHETIC



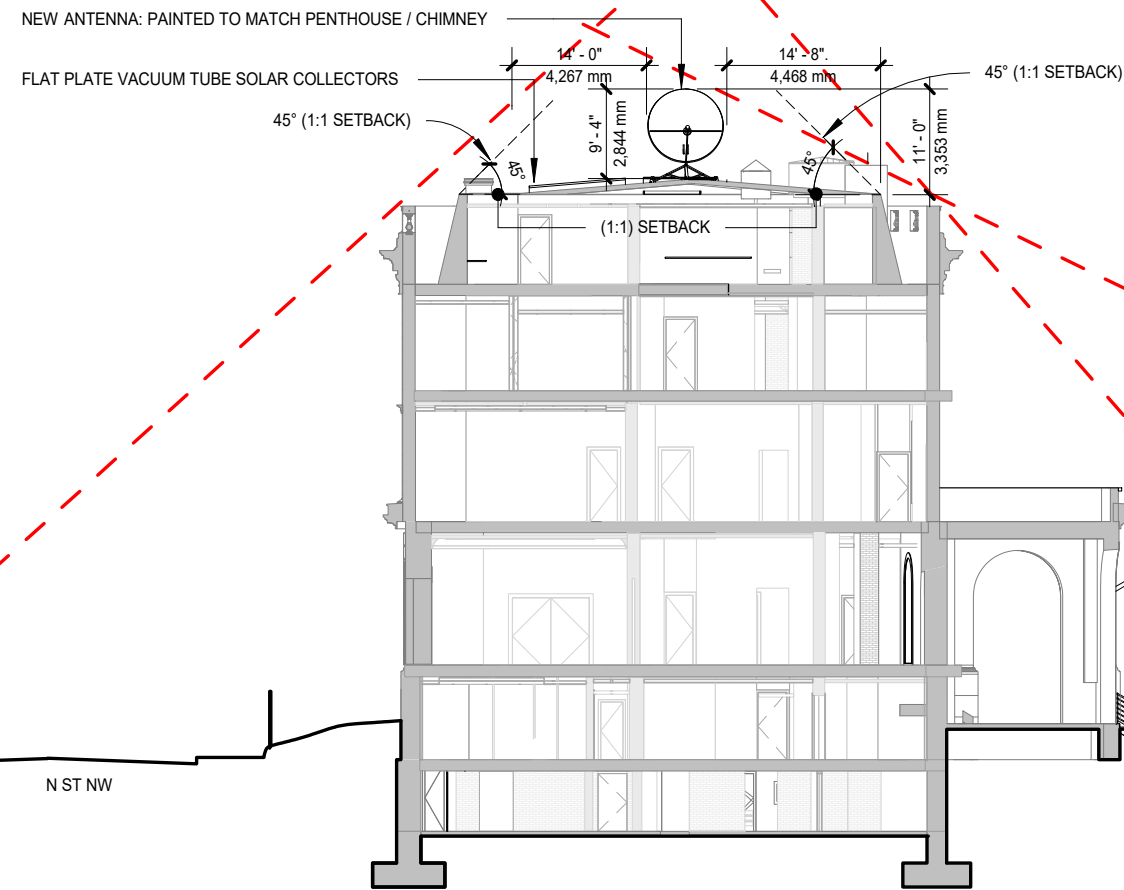
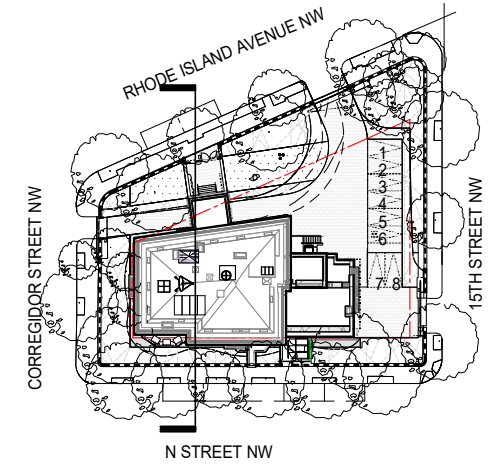


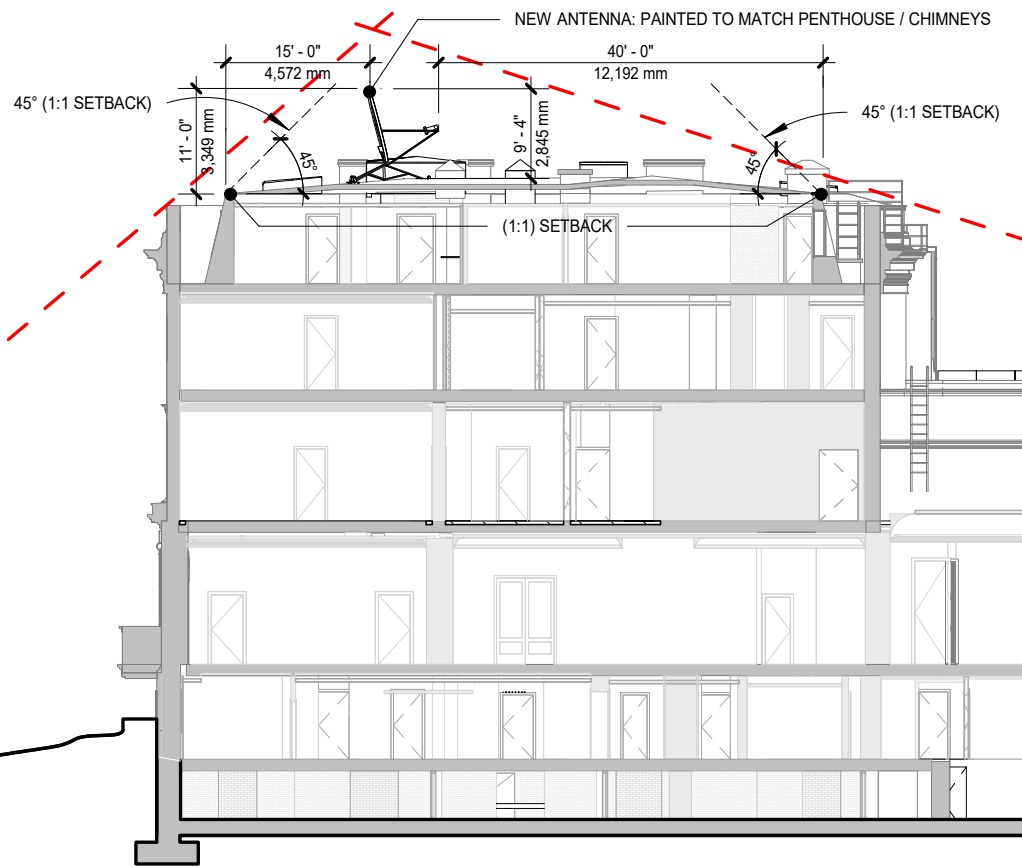
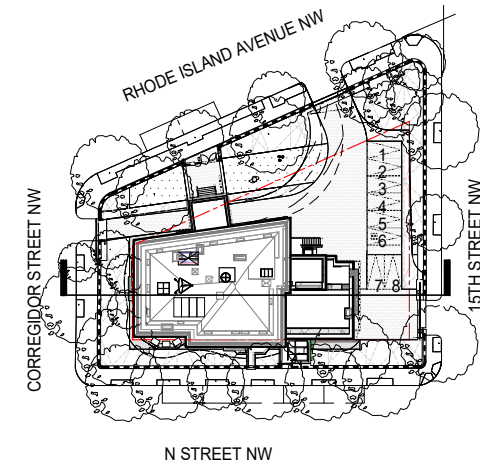
GLASS FIBER REINFORCED CONCRETE (GFRC)





2.4 M ANTENNA: DIMENSIONS SHALL BE VERIFIED WITH EQUIPMENT MANUFACTURER. SETBACK DIMENSIONS SHALL COMPLY WITH ZONING ORDINANCE





CORREGIDOR ST NW

15TH ST NW

1" = 20'